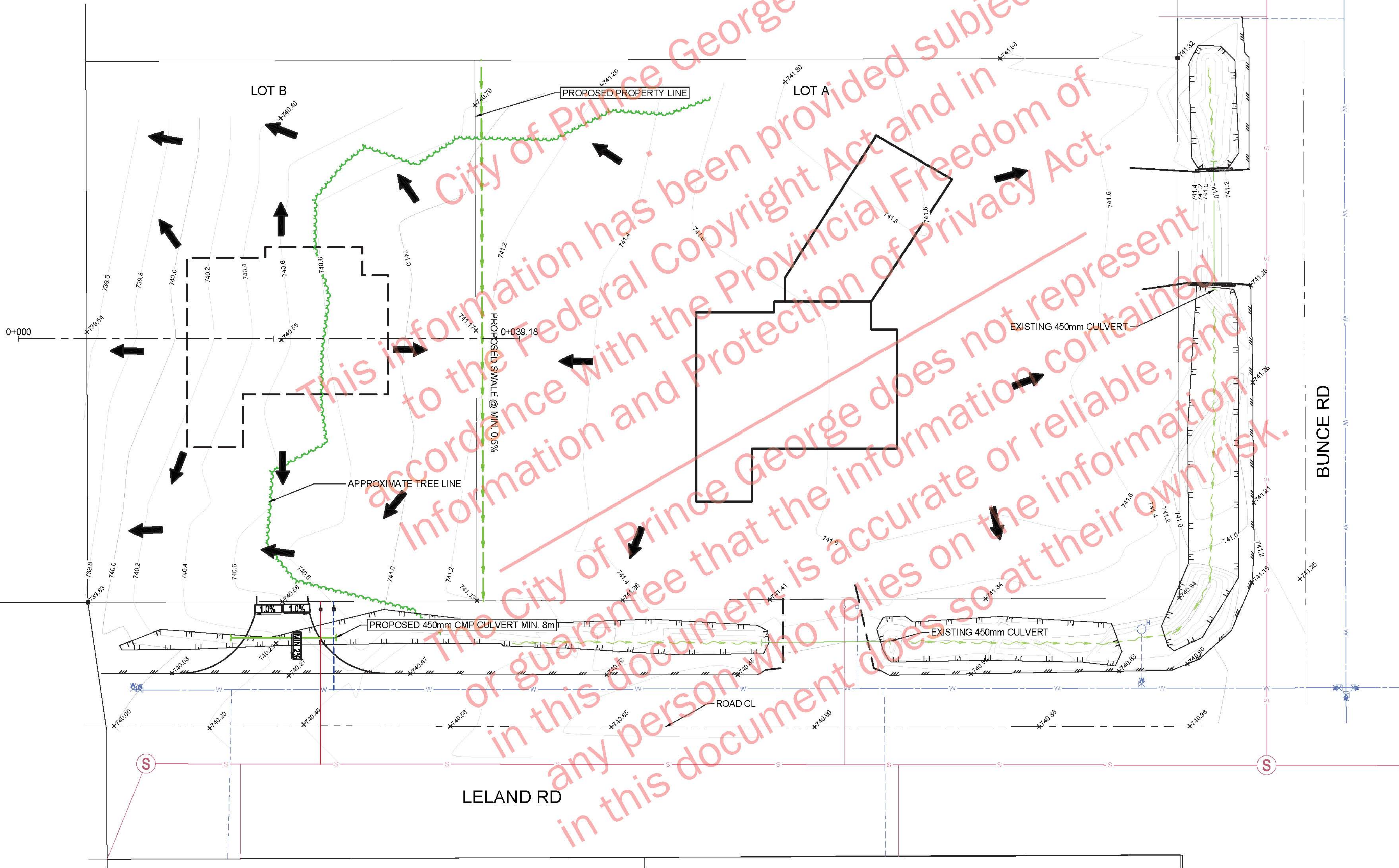
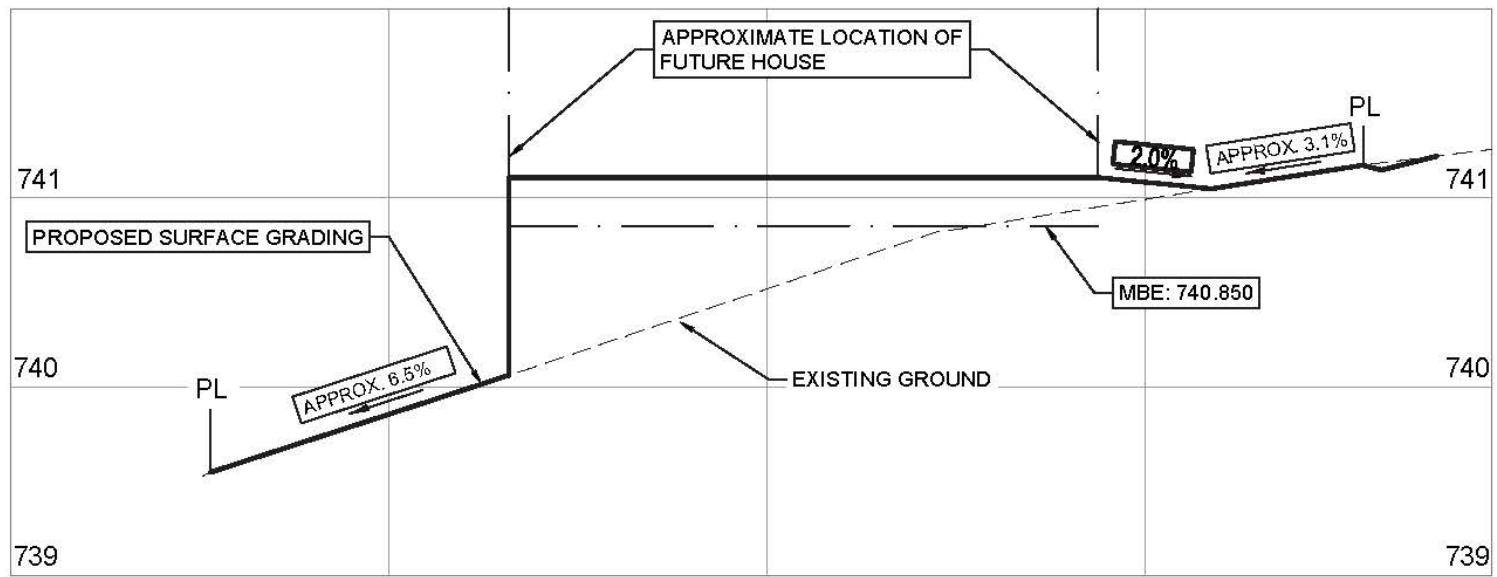


McElhanney ANS D - 2023-01-01
DATE: 2023-01-19, 09:25 FILE: V:\23416901-00\Johal - Bunce Rd Subdivision\10.0 Drawings\10.1 Engineering\10.1.3 Model\C-MODL.dwg
Johal - Bunce Rd Subdivision\10.0 Drawings\10.1 Engineering\10.1.3 Model\C-MODL.dwg

LOT B PROPOSED CROSS SECTION

H 1:200

V 1:40



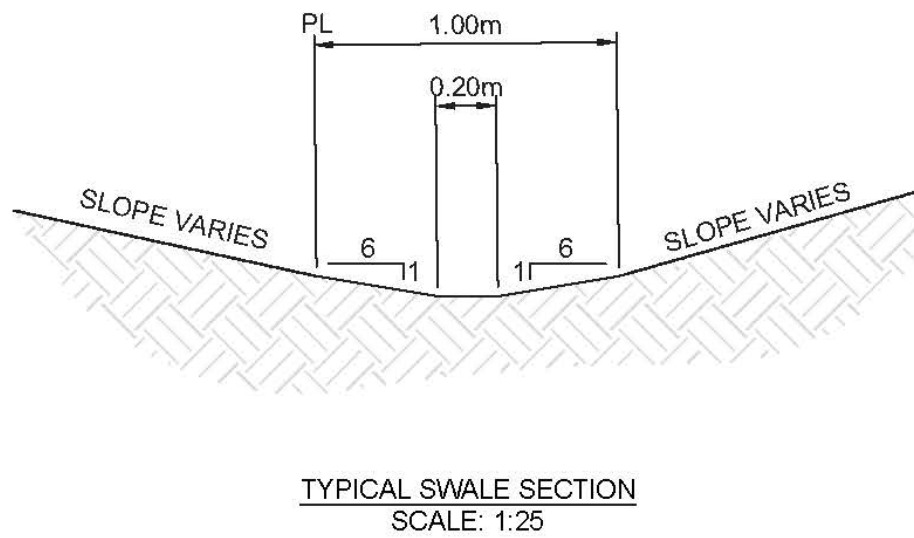
NOTES

1. ORIGINAL LOT (8191 BUNCE ROAD) IS SUBDIVIDED TO LOT A AND LOT B AS INDICATED IN THE PLAN.
2. ELEVATION BETWEEN CONTOUR LINES IS 0.2m
3. PROPOSED SITE DRAINAGE FOR THE NEW LOT (LOT B) IS APPROXIMATE. ONCE THE BUILDING PAD LOCATION IS DETERMINED, THE MINIMUM BUILDING ELEVATION (MBE) IS 740.850m AND SHALL HAVE MINIMUM SLOPE OF 0.5% DOWNWARD TOWARDS THE SWALE, STREETS OR BACK LANE.
4. GEO-TECHNICAL INVESTIGATION WAS NOT CONDUCTED FOR THE PROPERTY AND MBE FOR LOT B SHALL BE VERIFIED OR REVISED ONCE IT WAS COMPLETE.
5. EXISTING OWNER TO COMPLETE THE PROPOSED SWALE ALONG THE WEST SIDE OF LOT A. PROPOSED GRADING IN LOT B TO BE COMPLETED WITH THE NEW HOUSE CONSTRUCTION.
6. WATER SERVICE CONNECTION FOR LOT B SHALL BE MIN. 19mm TYPE K COPPER WATER SERVICE PIPE OR APPROVED EQUAL AND SHALL BE AT MIN. 2m BURY DEPTH AT THE PROPERTY LINE.
7. SANITARY SERVICE SHALL BE MIN. 100mm SDR35 PVC SERVICE PIPE OR APPROVED EQUAL WITH MIN. 2m BURY DEPTH AT THE PROPERTY LINE AND SHALL HAVE MIN. 2% SLOPE BETWEEN THE PROPERTY LINE AND THE SEWERMAN.
8. SANITARY AND WATER SERVICES ARE SIZED ACCORDING TO THE MINIMUM REQUIREMENT FOR A TYPICAL SINGLE FAMILY IN RS1 ZONING.
9. REMOVE TREES LOCATED INSIDE LOT B WHEN CONSTRUCTING NEW HOUSE AND DRAINAGE WORK AND PRESERVE TREED AREA AS MUCH AS POSSIBLE.

LEGEND

- PROPOSED SLOPE
- EXISTING ELEVATION
- FOUND IRON PIN
- EX. CURB STOP
- PROP. CURB STOP
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. SANITARY MANHOLE
- EX. SANITARY CLEANOUTS
- PROP. SANITARY CLEANOUTS
- EX. DITCH OR DRAINAGE SWALE
- EX. CULVERT
- EX. TREE LINE
- EX. SEWER MAIN
- EX. WATER MAIN
- PROPOSED DITCH OR DRAINAGE SWALE
- EXISTING ROAD CENTRELINE
- EXISTING ROAD EDGE
- EXISTING DITCH TOP

NOTE:
CENTER OF SWALE TO BE 0.5m
AWAY FROM PROPERTY LINE



Rev	Date	Description	Drawn	Design	App'd	Notes
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1	2023-01-18	REVISED AS PER CPG COMMENTS	JX	JX	CH	
0	2022-11-10	ISSUED FOR SUBDIVISION REVIEW	JX	JX	CH	

ORIGINAL DWG SIZE: ANSI D (22" x 34")



EGBC Permit to
Practice No. 1003299

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NARENDERPAL JOHAL
8191 BUNCE ROAD, PRINCE GEORGE, BC, V2N 6J1
8191 BUNCE ROAD SUBDIVISION
SITE GRADING PLAN

Drawing No.

C02

Project Number
2341-06901-00

Rev.
1

DESTROY ALL PRINTS BEARING PREVIOUS REVISION