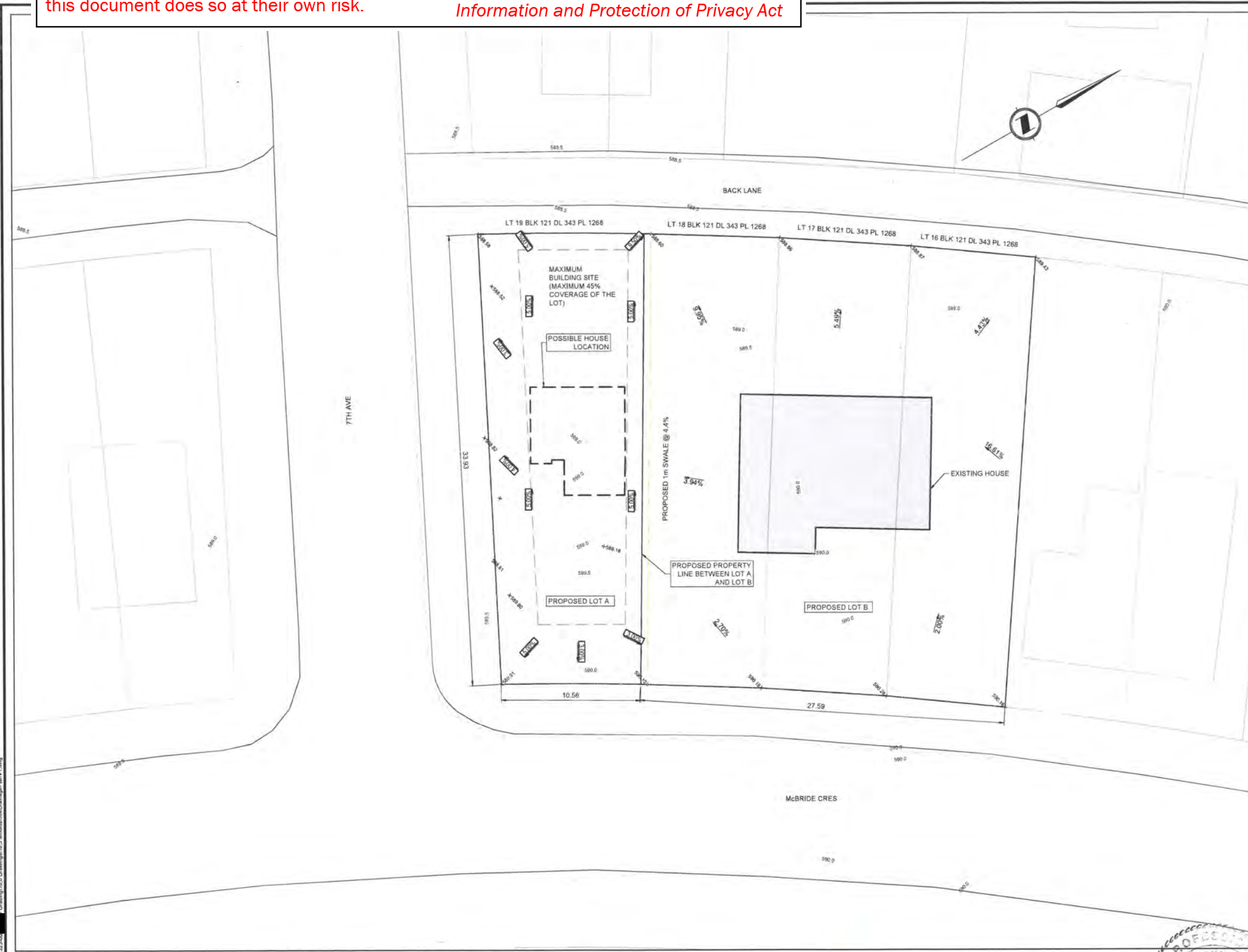


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McElhanney AHS D - 2020-01-01

Created: 10.0 Drawing: 10.3 Modified: 10.3 Drawing: 10.3

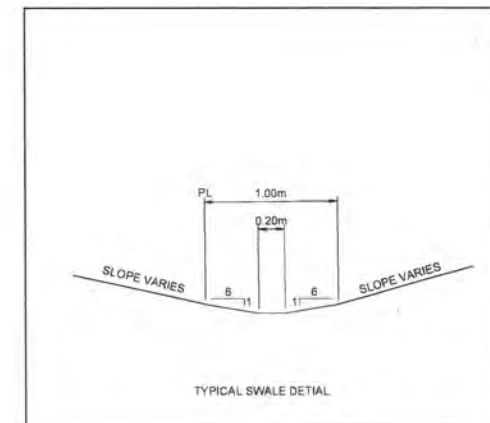


NOTES

1. THE GRID COORDINATES ARE UTM ZONE 10, NAD83 (CSRS). THIS PLAN SHOWS GROUND FEATURE OBTAINED FROM LIDAR DATA AND ACCURACY MAY VARY APPROXIMATELY 0.3m.
2. PROPERTY LINES ARE APPROXIMATE AND MAY VARY FROM 1m TO 15m TO TRUE PROPERTY LINE.
3. ORIGINAL LOT (2190 McBRIDE CRES) IS SUBDIVIDED TO LOT A AND LOT B AS INDICATED IN THE PLAN.
4. ELEVATION BETWEEN CONTOUR LINES ARE 0.5m.
5. PROPOSED SITE DRAINAGE FOR THE NEW LOT (LOT A) IS APPROXIMATE. ONCE THE BUILDING PAD LOCATION IS DETERMINED, THE MINIMUM BUILDING ELEVATION IS 590.20m AND SHALL HAVE MINIMUM SLOPE OF 0.5% DOWNWARD TOWARDS THE SWALE, STREETS OR BACK LANE.
6. EXISTING OWNER TO COMPLETE THE PROPOSED SWALE ALONG THE WEST SIDE OF LOT B. PROPOSED GRADING IN LOT A TO BE COMPLETED WITH THE NEW HOUSE CONSTRUCTION.
10. REMOVE TREES LOCATED INSIDE LOT A WHEN CONSTRUCTING NEW HOUSE AND DRAINAGE WORK AND PRESERVE TREED AREA AS MUCH AS POSSIBLE.

LEGEND

- EXISTING DRAINAGE, GUTTER, OR SWALE
- PROPOSED DITCH OR DRAINAGE SWALE
- APPROXIMATE PROPOSED PROPERTY LINE
- APPROXIMATE PROPERTY LINE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- EXISTING DRAINAGE SLOPE
- PROPOSED DRAINAGE SLOPE



Rev	Date	Description	Drawn	Design	App'd
1	2022-01-24	REVISED AS PER COPG COMMENT	JX	JX	CH
0	2021-10-27	ISSUED FOR SUBDIVISION APPLICATION	JX	JX	CH

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2190 McBRIDE CRES
PRINCE GEORGE, BC
2190 McBRIDE LOT SUBDIVISION
SITE PLAN
SITE GRADING

Drawing No.	C001
Project Number	2341-21323-00
Rev.	1