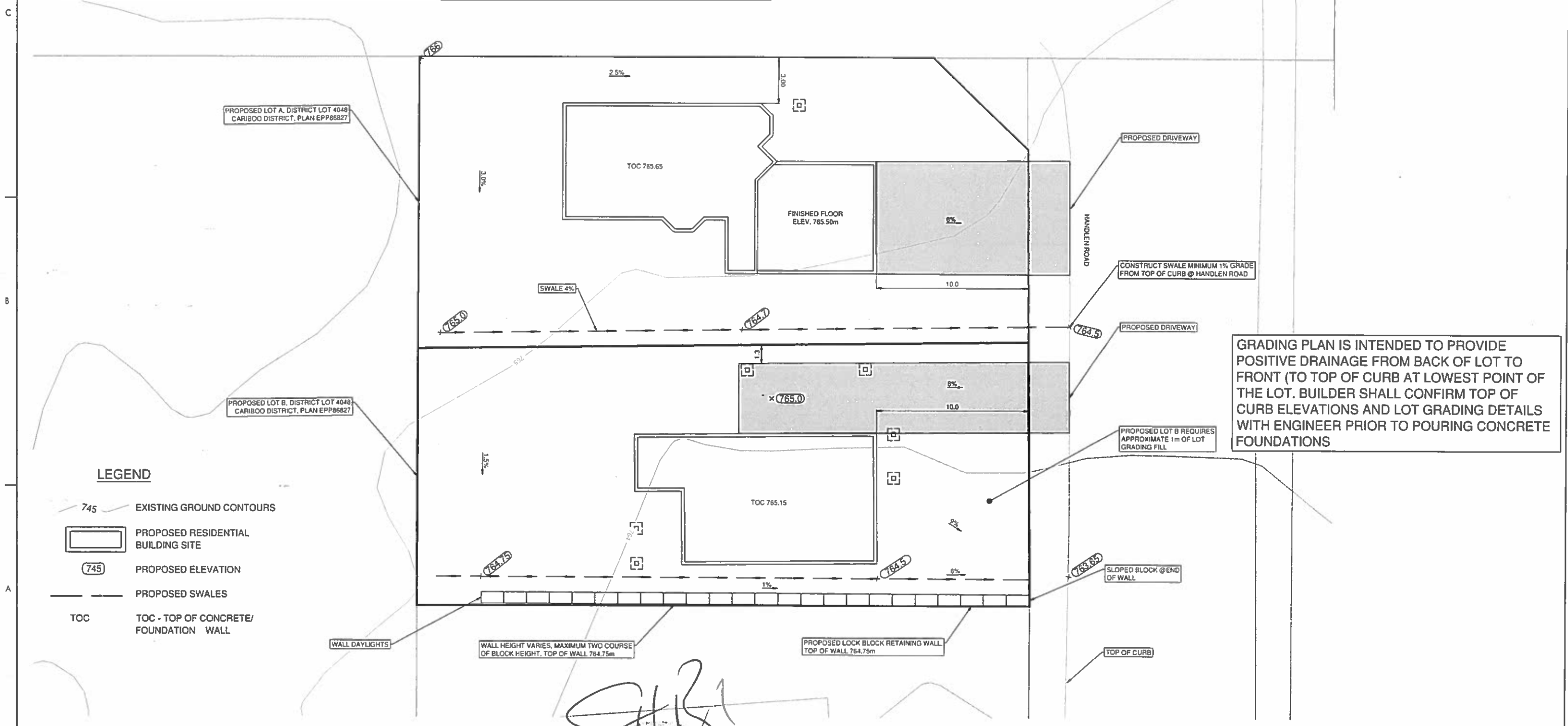


The City of Prince George does not represent or guarantee that the information contained in this document is accurate or reliable, and any person who relies on this information in this document does so at their own risk.

City of Prince George
This information has been provided subject to the *Federal Copyright Act* and in accordance with the *Provincial Freedom of Information and Protection of Privacy Act*.



GRADING PLAN IS INTENDED TO PROVIDE POSITIVE DRAINAGE FROM BACK OF LOT TO FRONT (TO TOP OF CURB AT LOWEST POINT OF THE LOT). BUILDER SHALL CONFIRM TOP OF CURB ELEVATIONS AND LOT GRADING DETAILS WITH ENGINEER PRIOR TO POURING CONCRETE FOUNDATIONS

LEGEND

- 745 EXISTING GROUND CONTOURS
- PROPOSED RESIDENTIAL BUILDING SITE
- (745) PROPOSED ELEVATION
- PROPOSED SWALES
- TOC TOC - TOP OF CONCRETE/ FOUNDATION WALL

Revision	By	Appd	TTTTAM DO	Issued	By	Appd	TTTTAM DO

Permit/Seal

Stantec Consulting Ltd.
205-1302 7th Avenue
Prince George BC V2L 3P1
Tel: (250) 626-4422
www.stantec.com

Copyright Reserved

Client/Project Logo

Client/Project
EBERLE & SONS CONSTRUCTION LTD

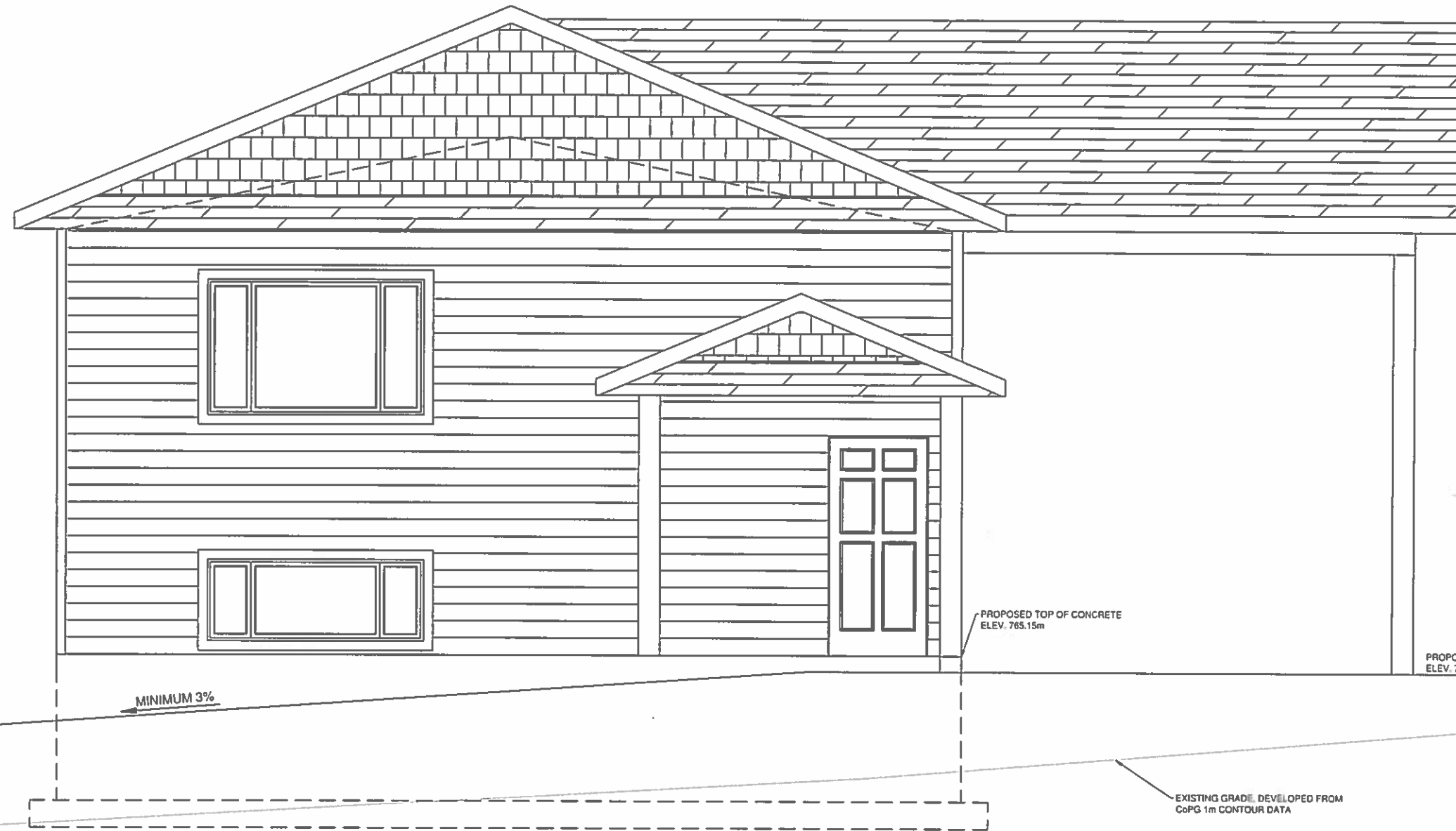
SUBDIVISION OF LOT A, D.L. 4048
CARIBOO DISTRICT
PLAN 16759
PRINCE GEORGE

File Name: 115819031

KS KS SB 2019.04.04
Dwn. Dsgn. Chd. TTTTAM DO

Title
SITE GRADING PLAN

Project No. 1158-19031
Revision Sheet 0 of
Scale 1:250
Drawing No. C101



FRONT ELEVATION

The City of Prince George does not represent or guarantee that the information contained in this document is accurate or reliable, and any person who relies on this information in this document does so at their own risk.

City of Prince George
This information has been provided subject to the *Federal Copyright Act* and in accordance with the *Provincial Freedom of Information and Protection of Privacy Act*.

Handwritten signature

<table border="1"> <thead> <tr> <th>Revision</th> <th>By</th> <th>Appd</th> <th>YYYY-MM-DD</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	Revision	By	Appd	YYYY-MM-DD																																									<table border="1"> <thead> <tr> <th>Issued</th> <th>By</th> <th>Appd</th> <th>YYYY-MM-DD</th> </tr> </thead> <tbody> <tr> <td>ISSUED FOR INFORMATION</td> <td>KS</td> <td>SB</td> <td>19 06 25</td> </tr> </tbody> </table>	Issued	By	Appd	YYYY-MM-DD	ISSUED FOR INFORMATION	KS	SB	19 06 25	Permit/Seal 	<p>Stantec Consulting Ltd. 235-1002 7th Avenue Prince George BC V2L 3P1 Tel: (250) 596-9422 www.stantec.com</p> <p>Copyright Reserved The Contractor shall verify and be responsible for all dimensions. All NCE scales the drawings - any errors or omissions shall be reported to Stantec without delay. The Copyright in all design and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.</p>	Client/Project Logo Client/Project EBERLE & SONS CONSTRUCTION LTD SUBDIVISION OF LOT A, D.L. 4048 CARIBOO DISTRICT PLAN 16759 PRINCE GEORGE File Name: 131819C3 KS SB 2019 06 04 Dwn. Dsgn. CRed. YYYY-MM-DD	Title PROFILE Project No. 1158-19031 Revision Sheet 0 of Scale 1:50 Drawing No. C102
Revision	By	Appd	YYYY-MM-DD																																																						
Issued	By	Appd	YYYY-MM-DD																																																						
ISSUED FOR INFORMATION	KS	SB	19 06 25																																																						



Stantec Consulting Ltd.
205-1302 7th Avenue,
Prince George, B.C.
V2L 3P1

The City of Prince George does not represent or guarantee that the information contained in this document is accurate or reliable, and any person who relies on this information in this document does so at their own risk.

August 16, 2021
File: 115819031

City of Prince George
This information has been provided subject to the *Federal Copyright Act* and in accordance with the *Provincial Freedom of Information and Protection of Privacy Act*.

Attention: Natalie Payne, Approving Officer

Planning and Development
1100 Patricia Boulevard,
Prince George, B.C.
V2L 3V9

Dear Ms. Payne,

Reference: **Eberle & Sons Construction Ltd.**
Subdivision of 4797 Handlen Road (SD100565)
Lot Grading – Works and Services

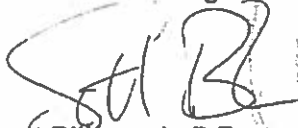
As requested by our client, we are pleased to provide this letter certifying completion of on-site works required to make provisions for the completion of lot grading required for the above referenced subdivision.

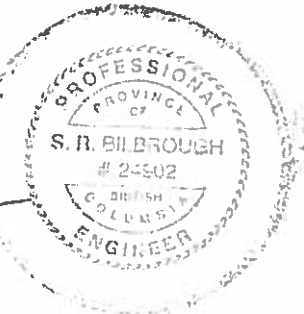
Section 7.5.5 of the Subdivision and Development Servicing Bylaw requires that drainage management plans and lot grading drawings be provided for proposed development and / or subdivision. The bylaw also requires that works required to incorporate the drainage management plan be installed by the developer. In this instance, the works include a lock block wall along a portion of the eastern property line (As illustrated on Stantec drawing C101, dated June 28, 2019). The wall is required to ensure that positive grades / drainage can be provided such that surface water from the newly created lots can be directed from the back of the lot to the front of the lot.

The retaining wall was constructed in the summer of 2020. Section 9.2 of the bylaw requires that the Owner's consulting engineer certify that the works were installed to the standards and specifications of the Bylaw. Accept this letter as confirmation that we inspected the retaining wall (on September 27, 2020, prior to installation of a new residence on the site) and can confirm that the wall will provide for the development / grading of the lot in a manner that will allow for surface water to be conveyed from the back of the lot to the front of the lot. Trusting this Letter of Certification meets the City's needs for Release of Security for this subdivision, we are available to discuss any questions you may have.

Regards,

Stantec Consulting Ltd.


Scott Bilbrough, P.Eng



Phone: 250-614-9792